



Community Development Services
 City of Greenwood
 300 South Madison Avenue
 Greenwood, IN 46142
 317.887.5230
www.greenwood.in.gov

**RESIDENTIAL
 STRUCTURE OTHER THAN
 BUILDING**

**DECK, GAZEBO
 PERGOLA**

PERMIT APPLICATION REQUIREMENTS

5-7 Business Day Review Time

WE DO NOT OFFER ANY KIND OF EXPEDITING

WE ARE NOW ACCEPTING ELECTRONIC SUBMITTAL THROUGH EMAIL.
 ALL DOCUMENTS SHOULD BE IN .PDF FORMAT.

Please submit all required items below to building@greenwood.in.gov.

- Application Form** – All items must be completed and the application must be signed.
- Submittal Checklist** – All items must be completed.
- Site Plan (8 ½”x11” or 11”x17”)** – Must show the location and dimensions of the structure you are proposing and the distance from the structure to property lines. This can be done by just using a copy of the plot plan/mortgage survey, or you may draw this plan yourself.
- Construction Plans & Specifications (8 ½”x11” or 11”x17”)** - Drawings may be done professionally or drawn by hand and should include the following:
 1. Basic floor plan showing dimensions, railings, stairs, etc.
 2. Basic cross section showing dimensions from grade to flooring, depth of footings below grade, and roof structure, if applicable.
 3. Framing plan consisting of post/column, joist, and girder/beam locations, sizes and spacing.
 4. Details showing connections to other structures, footings, railings, framing, and beams/girders to posts/columns.

NO STRUCTURE MAY BE PLACED IN A DRAINAGE UTILITY EASEMENT WITHOUT APPROVAL FROM THE BOARD OF PUBLIC WORKS AND SAFETY.

FEEES DUE AT TIME OF PERMIT ISSUANCE	
Other Structures	\$50

For further information regarding zoning regulations and design standards, please refer to the City’s Unified Development Ordinance available on our website at
<https://www.greenwood.in.gov/division/blocks.php?structureid=97>

9) Contact Person (if different than applicant): _____
Phone Numbers: Home or Office _____ Cell _____
Email: _____

The undersigned represents that such work shall start within 90 days and will be completed without delay; that said improvements will be finished in a good workmanlike manner. Should said work not start in good faith within 90 days, the undersigned understands this application will be void and of no force or effect whatever. The above information, to my knowledge and belief, is true and correct:

SIGNATURE OF APPLICANT: _____

SIGNATURE OF BUILDING COMMISSIONER: _____
(or designated representative)



Residential Deck, Pergola, or Gazebo Submittal Checklist

Community Development Services, City of Greenwood

Yes No

Is proposed structure larger than 3'-0" x 3'-0"?

If Yes, a Footing Inspection will be required. An existing slab cannot be used as the footing for a new structure or roof support.

(Structure Design References A & E)

Yes No

Will proposed structure be attached to the house?

If Yes, structure must be properly fastened and anchored to the house and must be designed to meet the appropriate building code requirements.

If No, the structure will be considered self-supporting and must be designed to meet the appropriate building code requirements.

(Structure Design References B, E & F)

Yes No

Is proposed structure bottom-of-framing (ledgers, joists, girders, and beams) within 12-18 inches above grade?

If Yes, all the joists, ledgers, girders & beams must be pressure-treated for weather-resistance.

(Structure Design References B, C, & E)

Yes No

Is proposed structure 30" or greater than the surrounding grades?

If Yes, your structure will require a railing (guards).

(Structure Design Reference D)

Composite

Wood

What material are you using for your proposed structure construction, composite or wood?

Make sure you follow the code requirements and Manufacturer's Specifications.

(Structure Design References B & E)

One Two

Is proposed structure one or two story? (Structure Design References A, B, D, E & F)

Yes No

Will structure have stairs? (Structure Design References D & G)

Yes No

Will structure include a ramp? (Structure Design References D & H)

Yes No

Will a Hot Tub be placed on the structure?

If Yes, the structure must be an engineered design to support the additional load.

(Structure Design References A, B & D)

Yes No

Will your structure be covered with a roof? (Structure Design Reference I)

Yes No

Are there any overhead power lines in the project area? (Structure Design Reference K)



Structural Design References

Residential Deck, Pergola, or Gazebo

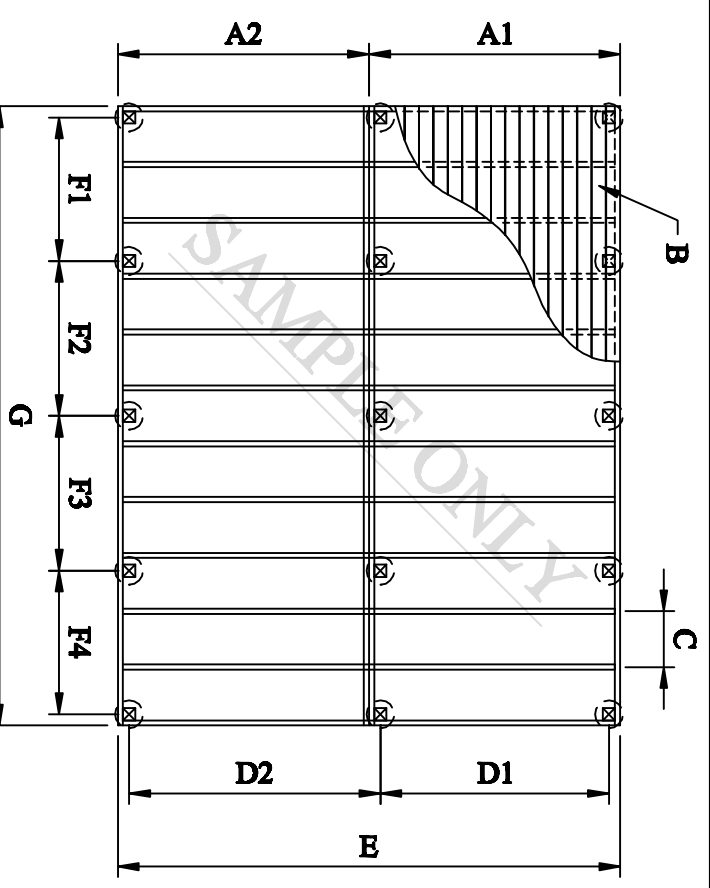
Community Development Services, City of Greenwood

Unless otherwise specified, all referenced code sections are from the:

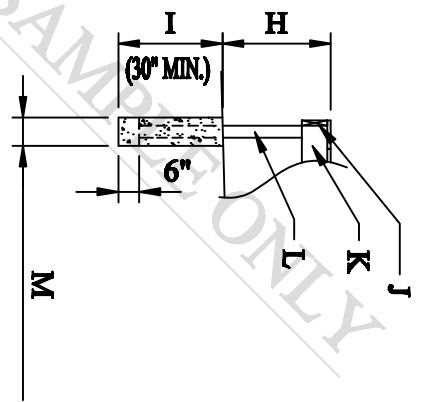
Indiana Residential Code 2020 Edition

(2018 International Residential Code with Indiana Amendments)

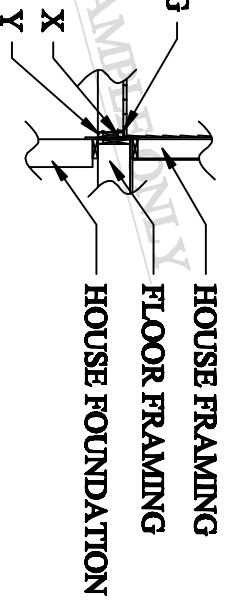
- A.** Footings shall be 30” below grade minimum. Specifically, the foundation footing must bear below the frost line on undisturbed natural soils or engineered fill. Surface (at grade) Footings can be Structural Pre-Cast if the structure they meet the following criteria: Joists bear directly on precast blocks with no beams, not more than 200 square feet, not more than 20 inches above surrounding grade within 36 inches measured horizontally from the edge, not within 6’-0” of or attached to a dwelling, and has no roof over it. (*Sections R507.3, R507.3.1, R507.3.2, R507.4.1*)
- B.** Structure joist, girder and beam sizes shall be within allowable support spans and meet minimum bearing requirements. (*Sections R301, R317, R318, R507.5, R507.6, Tables R507.5, R507.6*)
- C.** Structure framing within 18 inches above grade and girders within 12 inches above grade must be constructed with approved, pressure-treated wood. (*Sections R317, R318*)
- D.** Structures or stairs that are greater than 30 inches above floor or grade are required to have Guards/railings.
(*Section R311.7.8R312.1, Table R301.5*)
- E.** All structure connections shall be made to resist uplift and lateral loads on the structure assembly.
(*Sections R507.2.3R507.9, Table R301.5, R507.2.3, Figures R507.5.1(1)*).
- F.** When the structure is attached to the house, the ledger connection must be done per Code (*Section R507.9*).
- G.** When stairs are constructed for the structure, they should comply with Code (*Sections R311.7, R312.1, Table R301.5*).
- H.** When ramps are constructed for the structure they should comply with Code (*Sections R311.8, R312, Table R301.5*).
- I.** Structure, roof, and ceiling framing should be constructed to comply with Code (*Chapters 8 & 9*).
- J.** A structure may not be placed in any type of Easement without approval from the City of Greenwood Board of Public Works and Safety. Per City Ordinance, open uncovered porches may project into the front or rear yards a distance not to exceed 5 feet. (*Greenwood City Municipal Code Sec. 10-86, 6.02.02*)
- K.** Overhead Power Lines to comply with Code (*Sections E3604, E3604.1, E3604.2*).



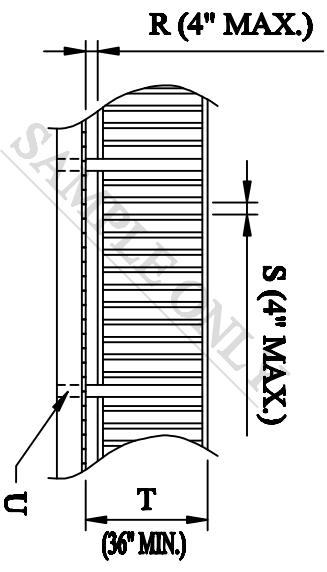
DECK PLAN



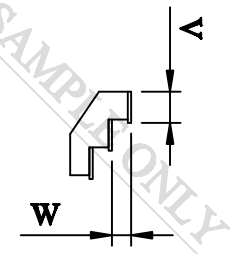
DECK SECTION



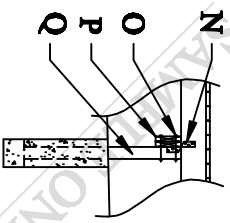
LEDGER DETAIL



RAIL ELEVATION



STAIR SECTION



GIRDER SECTION

INDEX:

- A= GIRDER SPAN
- B= DECKING INFO
- C= JOIST SPACING
- D= POST SPACING
- E= DECK WIDTH
- F= POST SPACING
- G= DECK LENGTH
- H= HEIGHT OFF GRADE
- I= FOOTING DEPTH
- J= BAND JOIST INFO
- K= JOIST SIZE
- L= POST SIZE
- M= DIAMETER OF FOOTING
- N= GIRDER/FRAME CONNECTION
- O= GIRDER/POST CONNECTION INFO
- P= GIRDER SIZE
- Q= GIRDER POST SIZE
- R= GAP BELOW RAIL
- S= SPACE BETWEEN SPINDLES
- T= RAIL HEIGHT
- U= RAIL POST CONNECTION INFO
- V= TREAD DEPTH
- W= RISER HEIGHT
- X= LEDGER CONNECTION INFO
- Y= LEDGER SIZE

